

**STAFF REPORT  
DEVELOPMENT COMMISSION  
ZONING MEETING  
CITY OF COLUMBUS, OHIO  
JUNE 10, 2008**

- 4. APPLICATION: Z08-026**  
**Location:** 4843 SUNBURY ROAD (43230), being 5.4± acres located at the northwest corner of Morse and Sunbury Roads (010-242734).  
**Existing Zoning:** CPD, Commercial Planned Development District.  
**Request:** CPD, Commercial Planned Development District.  
**Proposed Use:** Hotel and Commercial development.  
**Applicant(s):** Bristol Group Inc; c/o Jeffrey L. Brown, Attorney; 37 West Broad Street; Columbus, OH 43215.  
**Property Owner(s):** JP Morgan Chase Bank, N.A. Trustee, et al, 1111 Polaris Parkway, Columbus, Ohio 43240.  
**Planner:** Dana Hitt, AICP; 645-2395; [dahitt@columbus.gov](mailto:dahitt@columbus.gov)

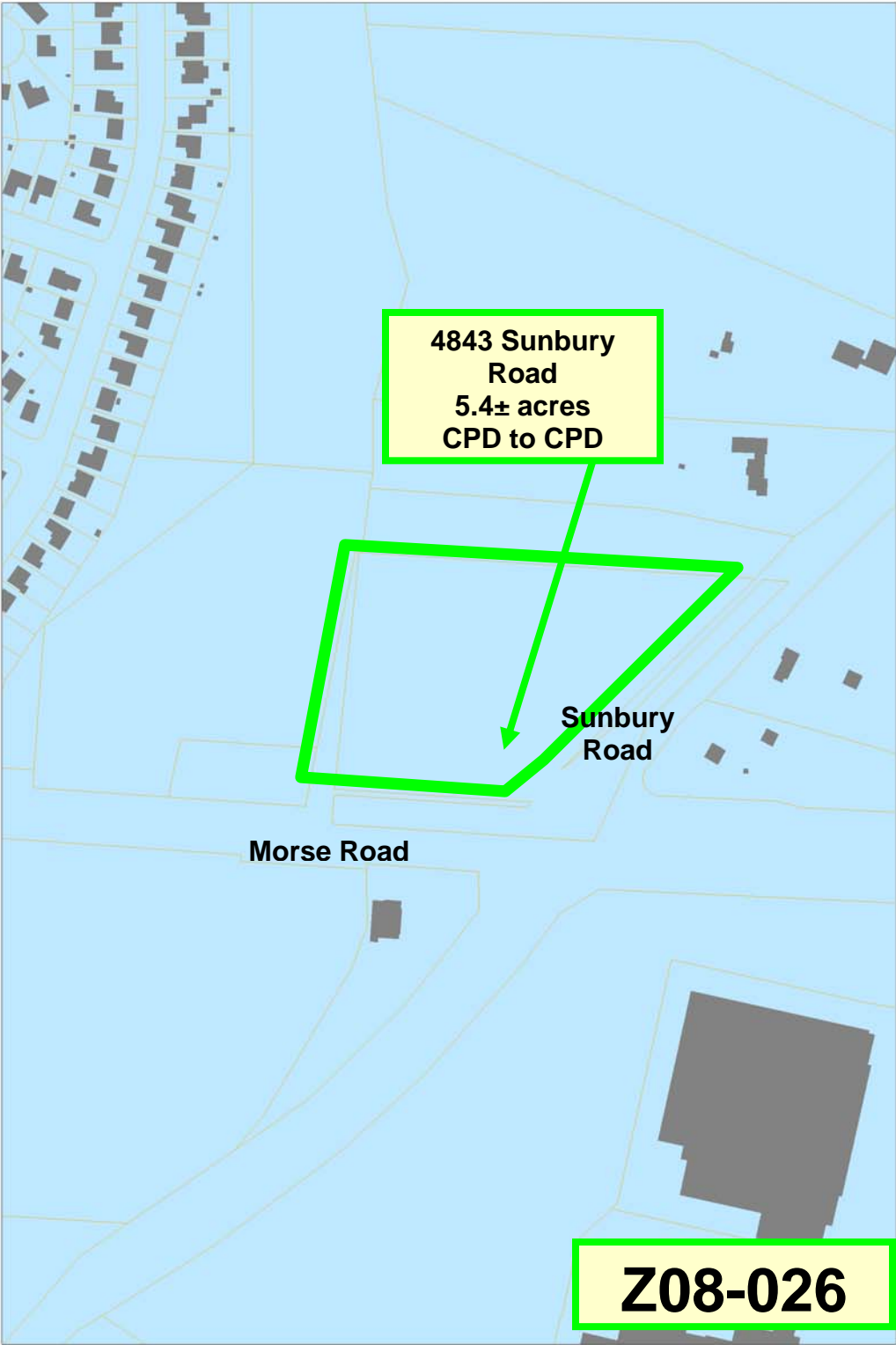
**BACKGROUND:**

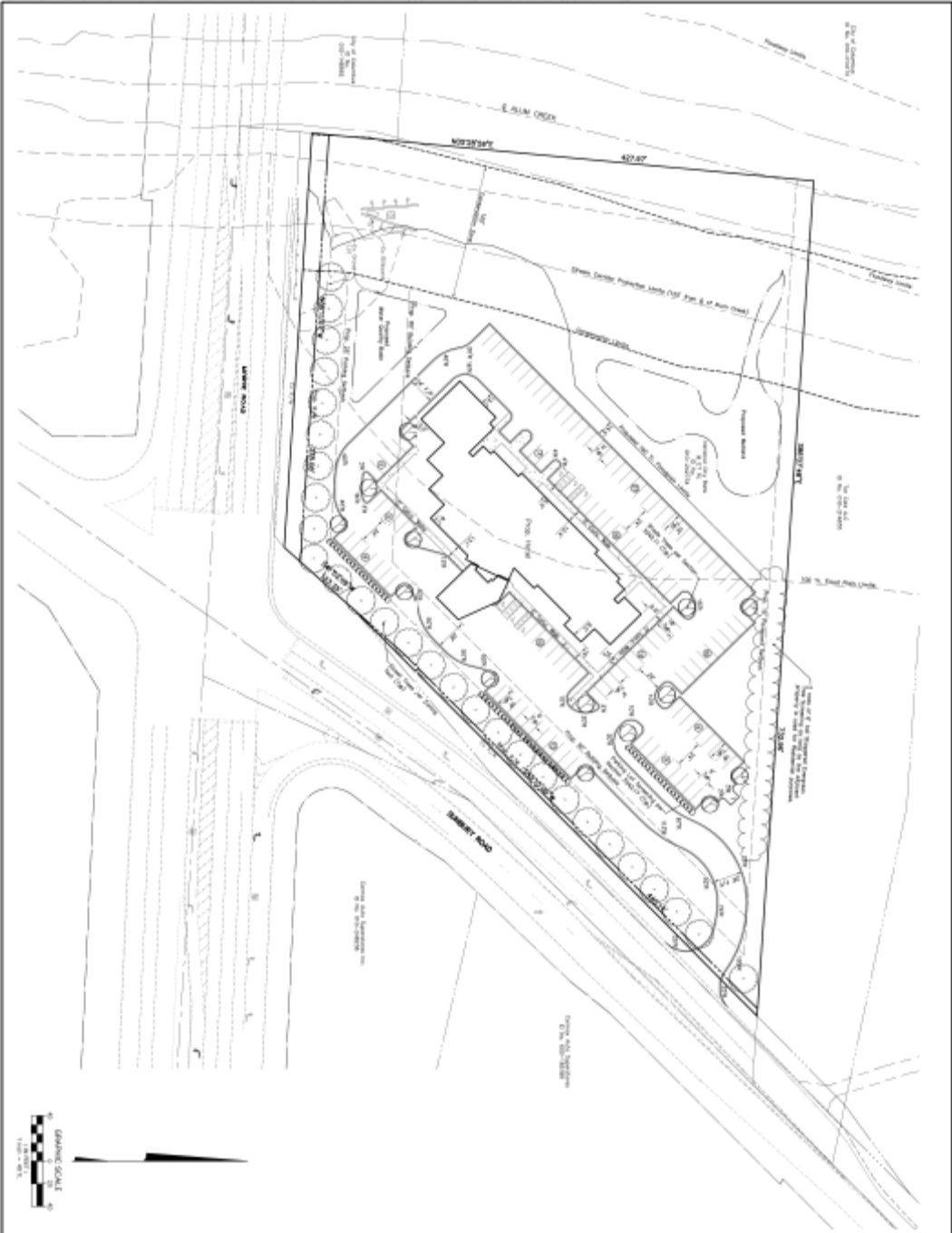
- The 5.4± acre site is undeveloped and zoned in the R, Rural District. The applicants are rezoning the CPD, Commercial Planned Development District to change the approved text and plan to permit a hotel. This property was the subject of a rezoning request in 2001 for an automobile dealership that was denied by Development Commission and a rezoning in 2004 that was approved by Development Commission.
- To the north is a single-family dwelling zoned in the R, Rural District that is the subject site of a recently filed rezoning to the L-C-4, Limited Commercial District. To the east across Sunbury Road is an automobile dealership zoned in the CPD, Commercial Planned Development District. To the south across Morse Road is a convenience store with gasoline sales and undeveloped land zoned in the CPD, Commercial Planned Development District. To the west is Alum Creek beyond which is undeveloped land zoned in the R, Rural District. A large portion of the site lies within the 100 year flood plain.
- The Commercial Planned Development text includes customary use restrictions, parking and building setbacks, landscaping, street trees, 20-foot down-lighting and a conservation easement as shown on the Site Plan.
- The site falls within the boundaries of Subarea 8 of the *Northland Plan I*, (2001) which allows commercial use of this parcel with protection of the flood plain.
- The Columbus Thoroughfare Plan identifies Morse Road as a 6-2D requiring a minimum of 80 feet of right-of-way from centerline and Sunbury Road as a 4-2 arterial requiring a minimum of 50 feet of right-of-way from centerline.

**CITY DEPARTMENTS' RECOMMENDATION:** Approval.

The requested CPD, Commercial Planned Development District to develop a hotel is consistent with the zoning and development patterns of the area.







**SITE DATA**

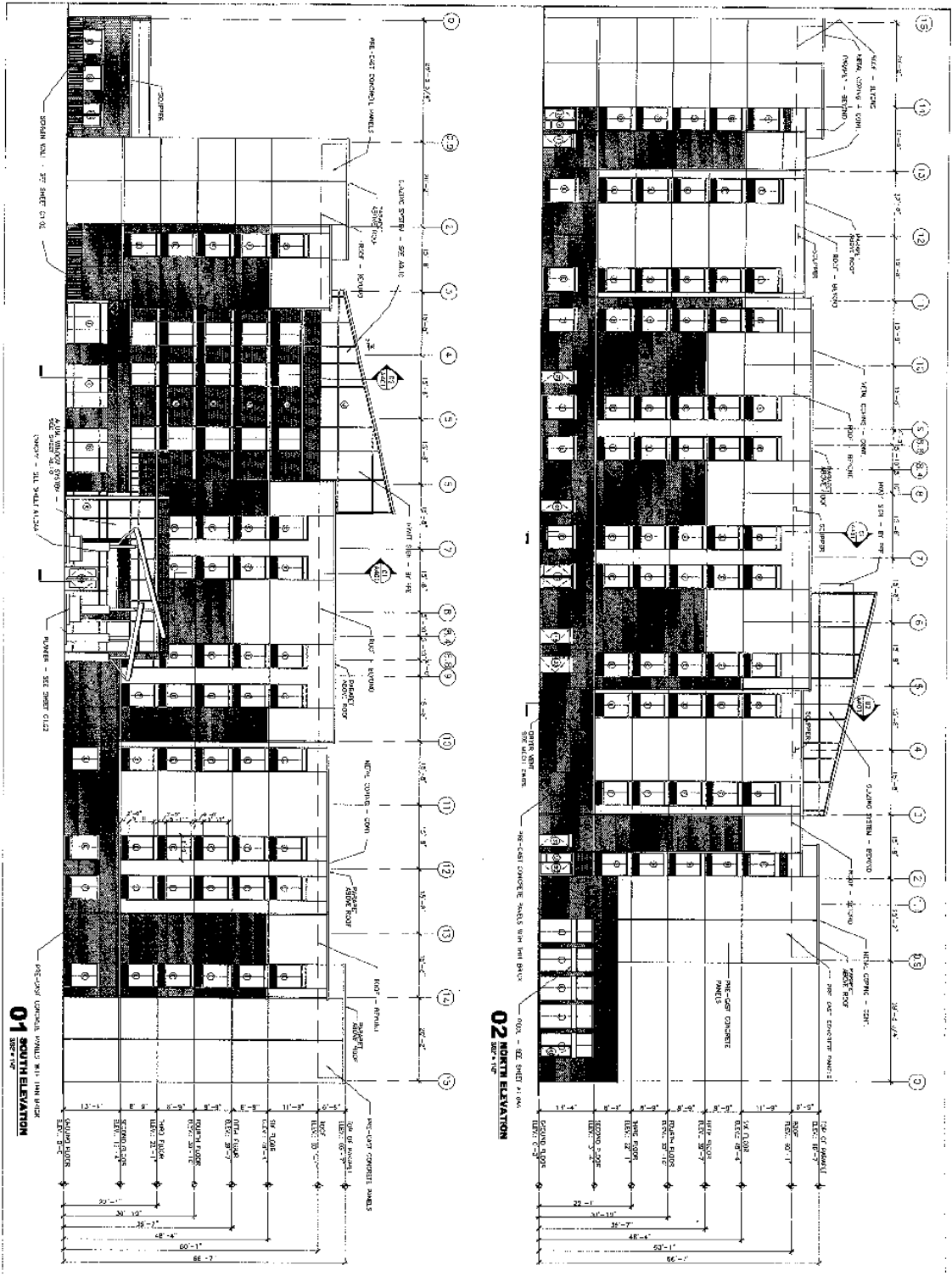
Site Area	14.4 Acres
Lot Area	627,000 sq. ft.
Building Footprint	1,200,000 sq. ft.
Building Volume	12,000,000 cu. ft.
Building Height	10 Stories
Building Use	Hotel
Building Type	Hotel
Building Code	IBC 2006
Building Owner	City of Booneville
Building Address	1000 S. Main St.

**NOTES:**

1. All dimensions are in feet and inches.
2. All dimensions are to the centerline of the road.
3. All dimensions are to the centerline of the building.
4. All dimensions are to the centerline of the driveway.
5. All dimensions are to the centerline of the parking lot.
6. All dimensions are to the centerline of the sidewalk.
7. All dimensions are to the centerline of the utility lines.
8. All dimensions are to the centerline of the property line.
9. All dimensions are to the centerline of the street.
10. All dimensions are to the centerline of the site.

**PREPARED BY:**  
**EMHHT**  
 ENGINEERS, ARCHITECTS & PLANNERS  
 1000 S. Main St., Booneville, MO 64601  
 Phone: 573-335-1100  
 Fax: 573-335-1101  
 Website: www.emhht.com

**MORSE-SUMMARY HOTEL SITE**  
 CITY OF COLUMBIA, MO  
 SITE REZONING PLAN  
 PREPARED BY:  
**EMHHT**  
 ENGINEERS, ARCHITECTS & PLANNERS  
 1000 S. Main St., Booneville, MO 64601  
 Phone: 573-335-1100  
 Fax: 573-335-1101  
 Website: www.emhht.com



**HYATT PLACE**  
 HYATT PLACE RENOVATION, LLC  
 300 WOODS ST./L  
 CHICAGO, IL 60601

**Bentall Group**

**ARCHITECTURE/ENGINEER/ARCHITECT**  
 Bentall Group Inc.  
 1116 Delaware Avenue, Suite 200  
 Arlington, VA 22202  
 800.231.0300 / 703.822.2033

**STRUCTURE**  
 HCS Limited Structural Engineers  
 8000 W. 141st Street  
 Skokie, IL 60077  
 847.444.3000

**MECHANICAL**  
 Smith & Associates  
 132 Prosperous Place  
 Arlington, VA 22217  
 855.254.5840

**ELECTRICAL**  
 T. E. Harwood  
 1302 Capital Plaza, S.W. 5  
 Langston, VA 22650  
 540.226.8534

**ELECTRICAL**  
 Army Electrical Co., Inc.  
 1401 Macgregor Drive  
 Arlington, VA 22204  
 703.241.1477

**PAINT PROTECTION**  
 Paint Protection  
 298 Blue Sky Parkway  
 Arlington, VA 22209  
 899.225.1833

**NOTES:**  
 1. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND METHODS.  
 2. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR FINISHES.  
 3. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR EQUIPMENT.  
 4. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR PARTS AND ACCESSORIES.  
 5. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR CONSTRUCTION METHODS.  
 6. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR MAINTENANCE.  
 7. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR SCHEDULE.  
 8. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR CONTRACT ADMINISTRATION.  
 9. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR RISK MANAGEMENT.  
 10. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR SUSTAINABILITY.  
 11. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR TECHNOLOGY.  
 12. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR QUALITY MANAGEMENT.  
 13. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR COMMUNICATIONS.  
 14. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR LEGAL AND ETHICAL OBLIGATIONS.  
 15. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR GENERAL NOTES.

**DATE:** 7.20.07  
**SCALE:** 1/8" = 1'-0"

**REVISIONS:**  
 1.0

**HYATT PLACE  
 EXTERIOR  
 ELEVATIONS**

**01 SOUTH ELEVATION**

**02 NORTH ELEVATION**

## COMMERCIAL PLANNED DEVELOPMENT TEXT

**PROPOSED DISTRICT:** CPD, Commercial Planned Development

**EXISTING DISTRICT:** CPD, Commercial Planned Development

**ACRES:** 5.4+/- acres

**PROPERTY ADDRESS:** 4843 Sunbury Road

**OWNER:** JP Morgan Chase Bank, N.A., Trustee

**APPLICANT:** Bristol Group Inc.

**DATE OF TEXT:** 6/24/08

**APPLICATION NUMBER:** Z08-026

**1. INTRODUCTION:** This property was rezoned for an appliance store in 2004 (Z03-123). Since that zoning an automobile sales facility has been zoned across Sunbury Road from the site and is now open for business. Commercial development now extends north of the subject site on the east side off Sunbury Road. This application seeks to allow for development of a hotel as well as C-4 commercial uses.

**2. PERMITTED USES:** Permitted uses shall include those uses permitted in Chapter 3356 of Columbus City Code (C-4, Commercial). The following uses shall be prohibited:

- Automobile sales new and used
- Billboard
- Bowling alley
- Business college
- Cabaret
- Check Cashing facility or store
- Commercial radio transmitting or television station and appurtenances including cellular towers
- Dance hall
- Electric substation
- Funeral parlor
- Motor bus terminal
- Motion picture theater
- Night club
- Off premises graphics (unless approved as part of a graphics plan)
- Pawn shop
- Poolroom
- Private club
- Tattoo Parlor
- Testing or experimental laboratory
- Trade school

**3. DEVELOPMENT STANDARDS:** Unless other wise specified in the following Development Standards, the Development Standards shall be as specified in Chapter 3356 of Columbus City Code (C-4, Commercial District).

A. Density, Lot, and/or Setback Commitments.

1. For structures and paved areas lot coverage shall not exceed seventy-five percent (75%).
2. Parking setback from Sunbury and Morse Roads shall be 25 feet. Parking setback from the north property line shall be 25 feet except for the portion of the access drive from Sunbury Road which will be located 15 feet from the property line.
3. Building setback from Sunbury Road shall be 50 feet and from Morse Road shall be 80 feet.
4. Maximum building height 80 feet.

B. Access, Loading, Parking, and/or Other Traffic Related Commitments.

N/A

C. Buffering, Landscaping, Open Space and/or Screening Commitments.

1. Street trees shall be provided along Sunbury Road and Morse Road at the rate of one (1) tree for every thirty (30) lineal feet of street frontage. Two rows of 5 foot tall staggered evergreen trees shall be installed within the parking setback along the north property to the extent shown on the submitted site plan as long as the adjacent property is used for residential purposes.
2. One (1) tree shall be planted for every ten (10) parking spaces. Trees shall be planted in islands or medians at least five (5) feet wide.
3. Headlight screening in the form of landscaping (30 inch minimum at installation) shall be installed along Sunbury Road and Morse Road adjacent to any parking areas.
4. All landscaping shall be maintained in a healthy state. Any dead material shall be removed and replaced with like materials within six months or the next available planting season, whichever occurs first. The size of the new material shall equal the size of the original material when it was installed.
5. The minimum size of all trees at installation shall be two and one half (2 1/2) inch in caliper for deciduous trees, five (5) feet in height for evergreen trees, and one and one half (1 1/2) inches in caliper for ornamental trees. Tree caliper shall be measured six (6) inches from the ground.
6. The developer shall comply with the parkland dedication ordinance by donating \$400/acre to the City's Recreation and Parks Department.
7. The developer shall establish a conservation easement (120 feet in width) as shown on the submitted site plan along Alum Creek subject to crossing that area for utilities and for compliance with the City's stormwater management requirements for the installation of a water quality basin partially located within this area.

C. Building design and Interior-Exterior treatment commitments.

1. Mechanical equipment or other utility hardware on the roof of a building shall be screened to the height of the equipment.

D. Dumpsters, Lighting, Outdoor display areas and/or other environmental commitments.

1. All external outdoor lighting including any wall packs shall be cut-off fixtures (down lighting) and shall be designed and placed to prevent spillage of light off the site and to prevent glare visible from the property lines.
2. Except for decorative lighting, all other light poles shall be metal and such light poles shall be of the same color. Light poles in the parking lots shall not exceed twenty (20) feet in height.
3. Dumpsters shall be screened on three (3) sides with a fence, wall or landscaping to a height of six (6) feet with a gate on the fourth side.
4. Wiring within a development shall be underground.

E. Graphics and/or Signage Commitments.

1. All graphics and signage shall comply with the Graphics Code, Article 15, Title 33 of the Columbus City Code as it applies to the C-4 Commercial District and any variance to the sign requirements shall be submitted to the Columbus Graphics Commission for consideration.

F. Miscellaneous Commitments.

1. The subject site shall be developed in accordance with the site plan. The site plan may be slightly adjusted to reflect engineering, topographical or other site data developed at the time that development and engineering plans are completed. Any slight adjustment to the plan may be reviewed and may be approved by the Director of the Department or his designee upon submission of the appropriate data regarding the proposed adjustment.

2. The building shall be developed in accordance with the submitted building elevations. Elevations may be slightly adjusted to reflect engineering, architectural detailing or other building data developed at the time of development and engineering and building plans are completed. Any slight adjustment to the elevations shall be reviewed and may be approved by the Director of the Department of Development or his designee upon submission of the appropriate data regarding the proposed adjustment.

2. CPD Criteria

a. Natural Environment: The site is located on the north side of Morse Road between Alum Creek and Sunbury Road.

b. Existing Land Use: The site is undeveloped except for a billboard.

c. Transportation and Circulation: Access to the site shall be from Sunbury Road.

d. Visual form of the Environment: The building will be oriented to take advantage of the site's location to Alum Creek.

e. View and Visibility: In the development of the subject site and in the location of buildings and access points, consideration has been given to the visibility and safety of the motorists and pedestrian.

f. Proposed Development: Commercial.

g. Behavior Patterns: The proposed development will serve the residents and motorists along the Morse Road corridor as well as the Easton area.

The undersigned, being the owner of the subject property together with the applicant in the subject application, or other authorized representatives do hereby agree singularly and collectively for themselves, their heirs, successors and assigns, to abide by above restrictions, conditions, and commitments regarding development of the subject property and for such purpose each states that he fully understands and acknowledges that none of the foregoing restrictions, conditions, or commitments shall in any manner act to negate, nullify, alter or modify any more restrictive provision of the Columbus City Code.

**SIGNATURE:**

**DATE:**

